



# Multi-Unit and Mixed-Use Residential Objective Design Standards

September 2024



**CITY OF DEL MAR**  
CALIFORNIA

City of Del Mar

# **Multi-Unit and Mixed-Use Residential Objective Design Standards**

September 2024

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# TABLE OF CONTENTS

<b>A. INTRODUCTION</b> .....	<b>2</b>	<b>C. BUILDING DESIGN</b> .....	<b>28</b>
A.1. Purpose.....	3	C.1. Building Form and Massing .....	29
A.2. Relationship to Other City Documents.....	3	C.2. Residential Units.....	32
A.3. Document Organization.....	4	C.3. Building Elements Excluded from FAR .....	33
A.4. Applicability and Compliance .....	5	C.4. Architectural Features .....	34
A.5. Administrative Exceptions .....	5	C.5. Materials and Colors.....	35
A.6. Conflicts .....	6	C.6. Utilitarian Elements and Screening.....	37
<b>B. SITE PLANNING AND DESIGN</b> .....	<b>8</b>	C.7. Signage .....	40
B.1. Neighborhood Compatibility .....	9	<b>D. GROUND-FLOOR DESIGN</b> .....	<b>42</b>
B.2. Floodplain Overlay Zone .....	15	D.1. Residential Ground-Floors .....	43
B.3. Natural Topography and Grading.....	16	D.2. Commercial Ground-Floors.....	45
B.4. Retaining Walls and Fencing.....	18	<b>DEFINITIONS</b> .....	<b>47</b>
B.5. Circulation and Parking.....	19		
B.6. Hardscape .....	22		
B.7. Landscape and Vegetation .....	23		
B.8. Open Space .....	25		

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# A. Introduction



## A.1. Purpose

The City of Del Mar Multi-Unit and Mixed-Use Residential Objective Design Standards (Standards) have been created with the intent of protecting the City’s unique residential seaside community character and village-like scale, enhancing the quality of design and development throughout the City, and considering the interests of neighboring property owners. The Standards establish regulations for by-right multi-unit residential, and residential mixed-use development, consistent with state law related to “objective design standards”. Objective design standards, as defined by Government Code Section 66300(a)(7), are standards that:

*involve no personal or subjective judgment by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official before submittal of an application.*

Objective design standards are mandatory development requirements that are measurable and verifiable, as opposed to design guidelines that are intended to be flexible and subject to interpretation. Objective design standards are intended to provide the public, building and design professionals, and decision makers with objective criteria for development.

## A.2. Relationship to Other City Documents

The Del Mar Community Plan focuses on preserving and enhancing Del Mar’s unique coastal village atmosphere by encouraging architecture that considers the aesthetic context of its location within the community, harmonizes with the existing neighborhood, and blends with the community’s unique and abundant natural assets. While the Design Review Ordinance (DRO) establishes design criteria for discretionary projects, the Multi-Unit and Mixed-Use Residential Objective Design Standards provide the design criteria for all by-right multi-family and residential mixed-use development in the City.

These tools, together with the Del Mar Municipal Code (DMMC) Title 30 - Zoning, Del Mar Community Plan, Local Coastal Program (LCP), and other regulations, are intended to safeguard and implement the City’s vision, maintaining Del Mar’s low-density residential character and ensuring that future development—both residential and mixed-use—preserves scenic views, natural terrain, and the environment.

The Standards contained within this document are intended to implement the City of Del Mar's 6th Cycle Housing Element and support the goals, objectives, and policies included within the Del Mar Community Plan including those specifically referenced below.

**GOAL 3: Preserve and enhance Del Mar's special residential character and small town atmosphere with its harmonious blend of buildings and landscape in proximity to a beautiful shoreline.**

**OBJECTIVES AND POLICIES:**

- Ensure that future development, whether commercial or residential, does not detract from high quality vistas and terrain, either by blocking views or disturbing natural topography mature trees, or native growth.
- Ensure adequate housing for age diversity and socio-economic groups, while preserving existing housing for those groups within the community.
- Protect and enhance human scale, warmth, charm, interest, texture, pedestrian involvement, and landscaping.

**GOAL 4: Focus major retail and office activity into an economically viable, pedestrian oriented and attractive area that serves the needs of both residents and visitors and is well integrated into the residential.**

- Ensure that the downtown area is well integrated into the residential fabric of the community.

## A.3. Document Organization

The Standards are organized in the following three sections:

- **Section A, Introduction and Purpose** establishes the purpose of the Standards, provides an overview of the document organization, describes the applicability and compliance with the Standards, outlines the process for administrative exceptions, and provides an interpretation of conflicts between standards in the City's multiple regulatory documents.
- **Section B, Site Planning and Design** provides criteria to ensure neighborhood compatibility, standards specific to the Floodplain Overlay Zone, requirements for the preservation of natural topography and grading design, the design of retaining walls and fencing, circulation and parking, and hardscape, landscape, vegetation, and open space.
- **Section C, Building Design** provides direction for the design of building form and massing, including facade design and articulation as well as roof design, residential unit design, building elements excluded from FAR, architectural features, materials and colors, utilitarian elements and screening and signage. Building Design standards are intended to ensure a minimum standard of design and construction quality in the development of new multi-unit residential and residential mixed-use projects in the City of Del Mar.
- **Section D, Ground-Floor Design** provides standards to regulate the design of ground-floors, including residential ground-floors, entry conditions, and the design of commercial ground-floor spaces and facades.

## A.4. Applicability and Compliance

The Standards apply to multi-unit residential and mixed-use development projects that are eligible for by-right approval, including any projects on sites rezoned per Government Code Section 65584.3(h) and (i). The Standards apply citywide, however they shall not apply to a project if otherwise prohibited by State law.

In addition to the standards herein, all development shall comply with the standards of DMMC Title 30 - Zoning, Del Mar Community Plan, LCP, and any applicable specific plan, overlay, or other regulations. Eligible projects must comply with all standards unless an administrative exception is approved.

## A.5. Administrative Exceptions

An applicant may request an administrative exception for up to three (3) standards contained herein.

1. **Request for Administrative Exceptions:** A request for an administrative exception(s) must be made in writing as part of the application for the proposed project. The written justification for an administrative exception(s) must identify each standard for which an administrative exception is requested, and how the request meets the findings listed below.
  - a. A standard shall include any numbered standard that does not include any lettered standards or sub-bullets. Or, where a numbered standard includes lettered standards and sub-bullets, each lettered standard, inclusive of sub-bullets, shall be considered an independent standard.
2. **Required Findings for Exceptions:** The Director, or designee, will consider a written request for an administrative exception(s) and make findings to approve or deny the request. An exception shall be granted only if all the following findings are made for each of the exceptions:
  - a. The proposed project meets the intent of the design standard under consideration, or a similar design standard is implemented in substitution.
  - b. Exceptions from numeric standards do not deviate more than five (5) percent from the standard.
  - c. Standard for which an exception is requested is not contained in Section D, Ground-Floor Design.
  - d. Standard for which an exception is requested is not contained in DMMC Title 30 - Zoning, Chapter 30.92 - Housing Element Implementation Overlay Zone, or another applicable regulation or ordinance.

3. **Density Bonus:** An administrative exception, approved through the process outlined in this section, is separate from any concession/incentive or waiver granted pursuant to Density Bonus Law (Government Code Section 65915 - 65918) and/or other applicable state laws.
  - a. If any concession/incentive and waiver granted through Density Bonus Law includes an applicable standard included in the Standards, it will be counted as one (1) of the three (3) administrative exceptions granted through this section.
4. **Discretionary Review:** Applicants may elect to pursue a discretionary review path that voluntarily removes the project from the by-right requirements and processes, including mandated review timelines and limit on number of meetings for projects that are seeking by-right approval through State law. Projects under discretionary review are subject to DMMC Chapter 23.08 - Design Review, and Section 3 of the Citywide Design Guidelines. Conformance with the Standards is not required as part of discretionary review, but is encouraged.

## A.6. Conflicts

The City maintains multiple regulatory documents that contain objective design standards and other requirements that apply to by-right multi-unit residential and residential mixed-use development, including DMMC Title 30 - Zoning, Del Mar Community Plan, and the LCP, which are applicable to all development. In the case of a conflict between standards, the following shall apply:

- All development projects, including density bonus projects, are required to comply with the California Coastal Act and the City's LCP. Where a provision within these Standards differs from a standard contained within the LCP, the standard of the LCP shall prevail.
- Where a provision of these Standards differs from a requirement of DMMC Title 30 - Zoning, the provision in these Standards shall prevail, unless otherwise specified herein.
- Where the Chapter 30.92 - Housing Element Implementation Overlay Zone has been deemed applicable to a site through a hearing process by the City Council, both the standards in Chapter 30.92 - Housing Element Implementation Overlay Zone and these Standards shall apply. If a provision of these Standards differs from a requirement in the DMMC Chapter 30.92, the standards in DMMC Chapter 30.92 shall prevail, unless otherwise specified herein.
- Where a provision of these Standards differs from a standard contained within an applicable specific plan, the standard of the applicable specific plan shall prevail.

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## B. Site Planning and Design



## B. Site Planning and Design

The building placement, arrangement of activities and design of the site are significant factors in maintaining the unique character and scale of Del Mar’s existing neighborhoods. The Site Planning and Design section addresses the standards for the following topics:

- B.1 Neighborhood Compatibility
- B.2 Floodplain Overlay Zone
- B.3 Natural Topography and Grading
- B.4 Retaining Walls and Fencing
- B.5 Circulation and Parking
- B.6 Hardscape
- B.7 Landscape and Vegetation
- B.8 Open Space

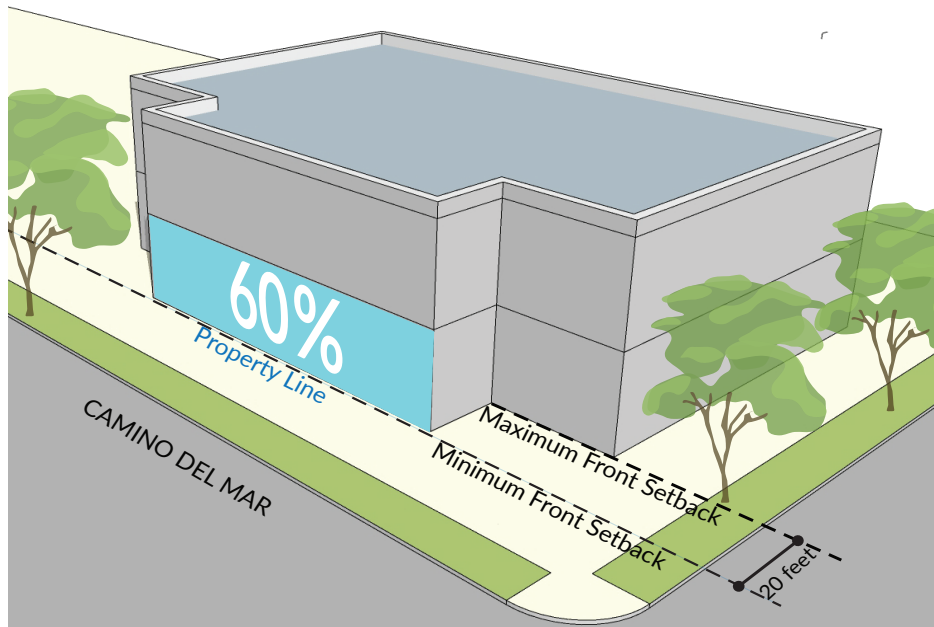


Figure B-1: Camino Del Mar building frontage setback requirements.

### B.1. Neighborhood Compatibility

Ensure that new multi-unit residential and mixed-use development reflects the scale and character of Del Mar’s existing neighborhoods.

#### SETBACKS

1. Front, side, and rear yard setbacks shall meet the minimum standards set in the DMMC Title 30 - Zoning.
2. For parcels that face Camino Del Mar, the following standards shall apply:
  - a. Along Camino Del Mar between Del Mar Heights Road/4th Street and 15th Street, the following shall be included:
    - A 10-foot minimum public sidewalk, measured perpendicularly from the existing curb line.
    - The 10-foot sidewalk shall include a 5-foot landscaping and furniture zone and a 5-foot continuous walkway.
  - b. Where there is no minimum front yard setback required, buildings may be built up to the property line.
  - c. Along Camino Del Mar, between 10th and 13th streets where “Town and Country” parking has been provided in the front yard setback, the existing setback shall be considered the minimum front yard setback.
3. A minimum of 60% of the building facing Camino Del Mar and any intersecting street (where the parcel faces two streets) shall meet the minimum front yard setback as shown in Figure B-1.
  - a. The remaining building frontage may be set back up to 20 feet to allow for one or more site features including:
    - Plazas
    - Landscaping
    - Open space
    - Outdoor dining
    - Building entries
    - Building articulation

4. For parcels located between two other parcels that have an existing single dwelling unit or duplex, the following front yard setback standards apply:
  - a. If the front yard setback dimension of the adjacent single dwelling units or duplex on each side are the same, the minimum front yard setback dimension of the proposed development shall match the adjacent properties.
  - b. If the front yard setback dimension of the adjacent single dwelling units or duplex on each side are not the same:
    - And the parcel is under 5,000 square feet, the minimum front yard setback shall be equal to the smaller dimension of the two front yard setbacks as shown in Figure B-2.

- And the parcel is greater than or equal to 5,000 square feet, the minimum front yard setback shall be equal to the smaller of the two front yard setbacks for a minimum of 50% of the building frontage as shown in Figure B-3. The remainder of the building frontage in parcels over 5,000 square feet shall be permitted to meet the minimum front yard setback as defined in the DMMC Title 30 - Zoning.

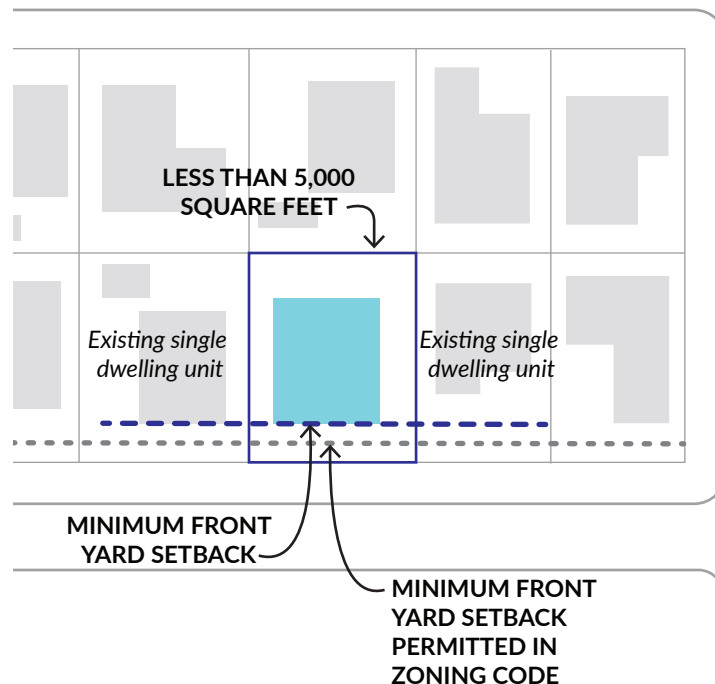


Figure B-2: Front yard setbacks adjacent to single dwelling units, for parcels less than 5,000 square feet.

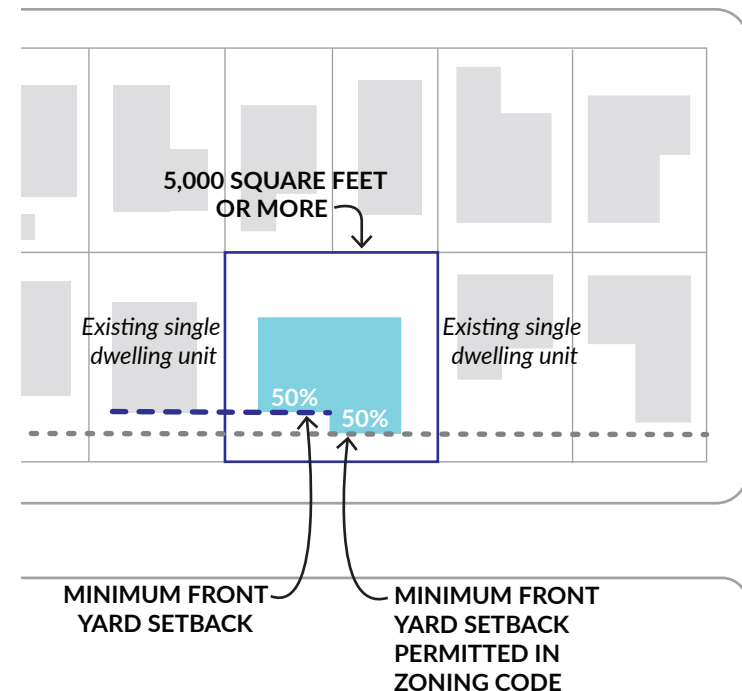


Figure B-3: Front yard setbacks adjacent to single dwelling units, for parcels 5,000 square feet or more.

- c. The minimum front yard setback dimension for corner parcels shall match the smaller front yard setback of the adjacent parcels where they differ as shown in Figure B-4. Front yard setbacks shall apply to all facades facing a public street.

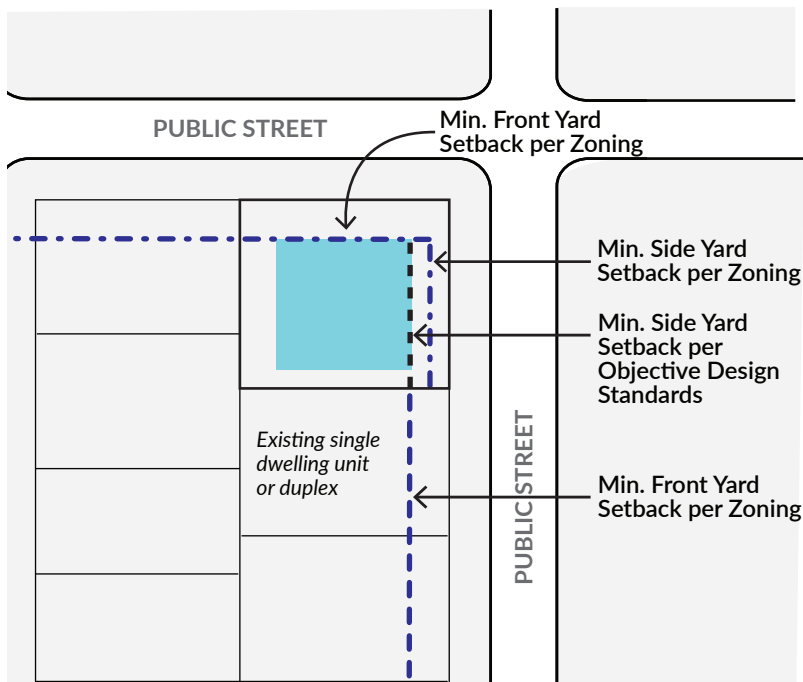


Figure B-4: Front yard setbacks adjacent to single dwelling units on a corner lot.

- 5. The following encroachments into the front yard setback are permitted:
  - a. Weather protection elements, such as canopies and awnings, are permitted to encroach into the front yard setback or public sidewalk a maximum of 5 feet at a minimum of 8 feet above the ground (see Figure B-5).

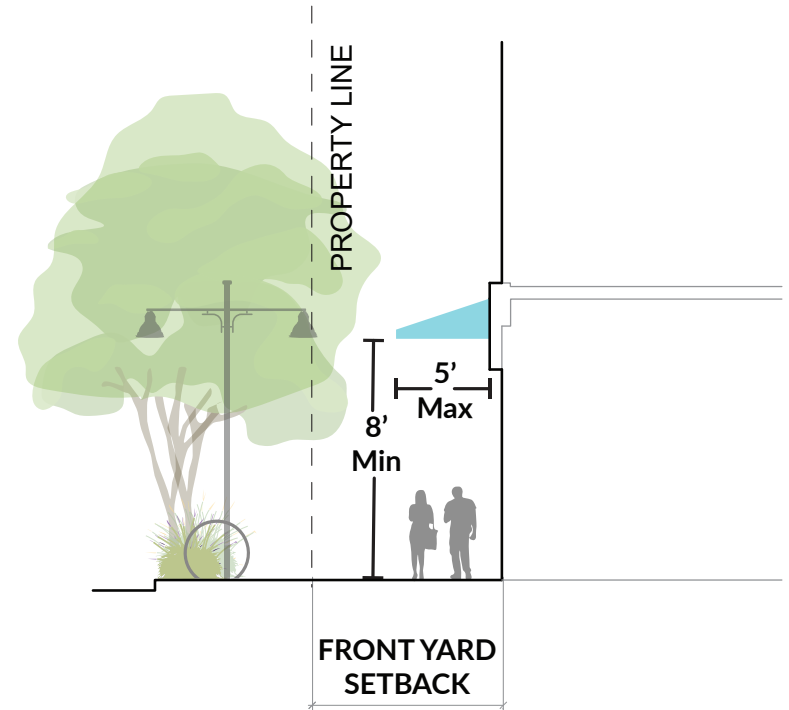


Figure B-5: Permitted weather protection encroachments into the front yard setback.

- b. Covered porches, residential entry stoops, and patio areas may encroach into the front yard setback a maximum of 8 feet, except where a public utility easement is required (see Figure B-6).
- c. Upper floor balconies may encroach into the front yard setback a maximum of 6 feet (see Figure B-6).

- d. Architectural features, such as eaves and bay windows, may project into the front yard setback a maximum of 2 feet provided the setback is not reduced to less than 5 feet (see Figure B-7).

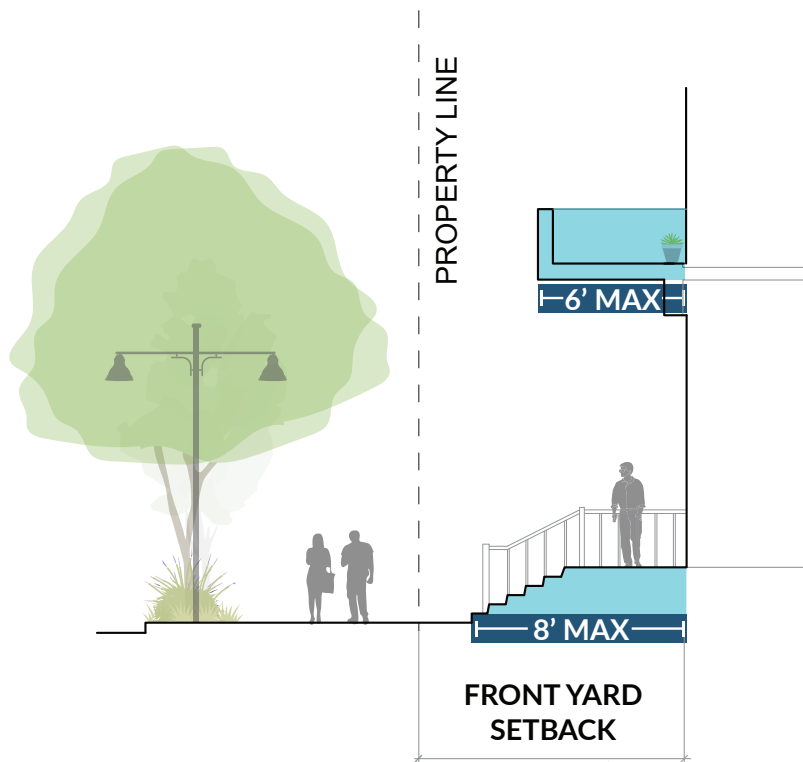


Figure B-6: Permitted private open space and entry encroachments into the front yard setback.

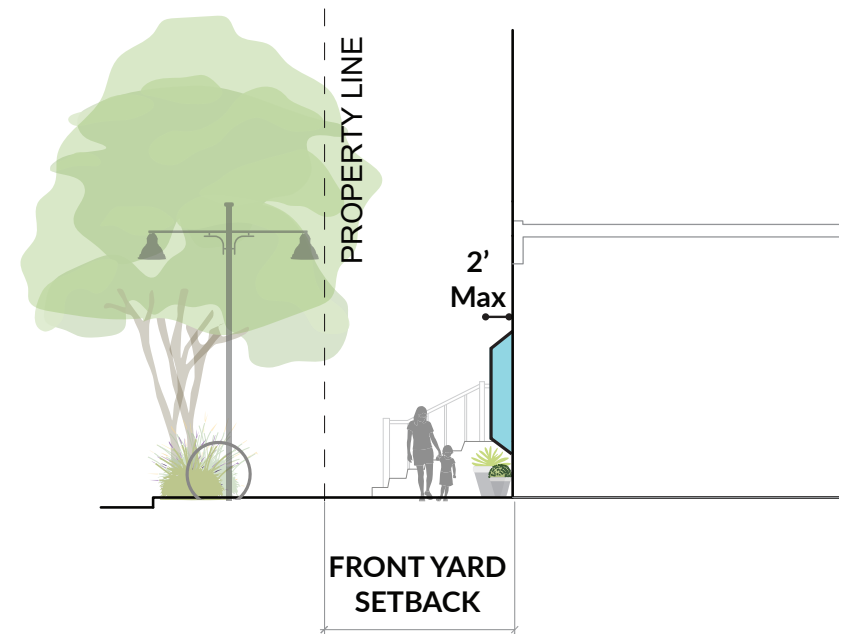


Figure B-7: Permitted architectural feature encroachments into the front yard setback.

6. The following are permitted in the front yard setback:
  - a. Street trees.
  - b. Landscaping with a minimum 5-foot depth.
  - c. Seating and street furnishings, including sidewalk cafe spaces not to exceed a 15-foot depth.
  - d. Publicly accessible plazas or open spaces.

**UPPER FLOOR REDUCTION**

7. All floors above the first floor of a building, not including a basement level, shall have a reduced floor area equal to a maximum of 75% of the first floor as shown in Figure B-8.

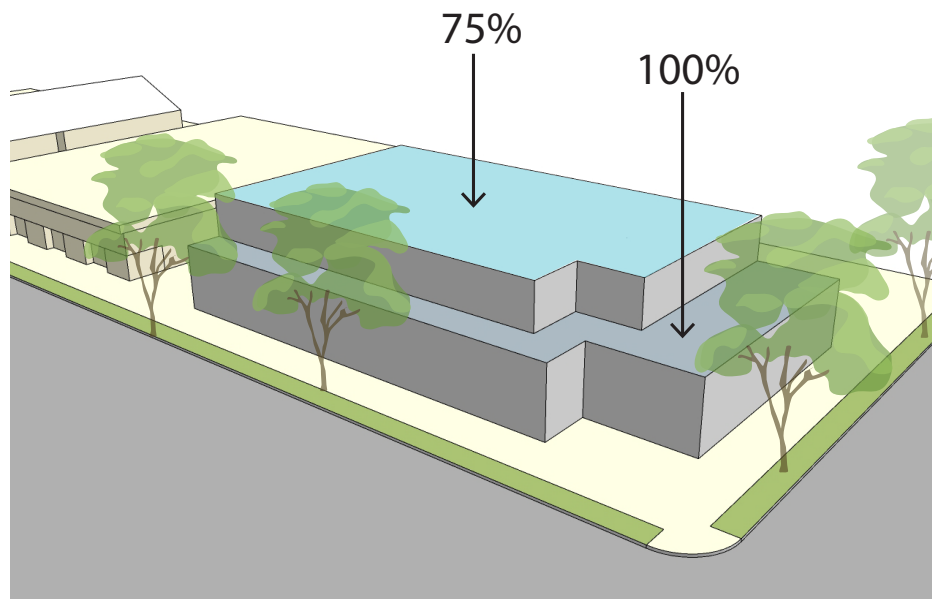


Figure B-8: Upper floor reduction requirement.

**NEIGHBORHOOD TRANSITION STANDARDS**

8. For parcels sharing a property line with parcels that have an existing single dwelling unit or duplex, provide a transition along the entire length of the shared property line using one of the following approaches:
  - a. A minimum 15-foot-wide landscape area planted with landscape screening along the full length of the property line or fence line, and a minimum 10-foot stepback above the first floor of the building (see Figure B-9).

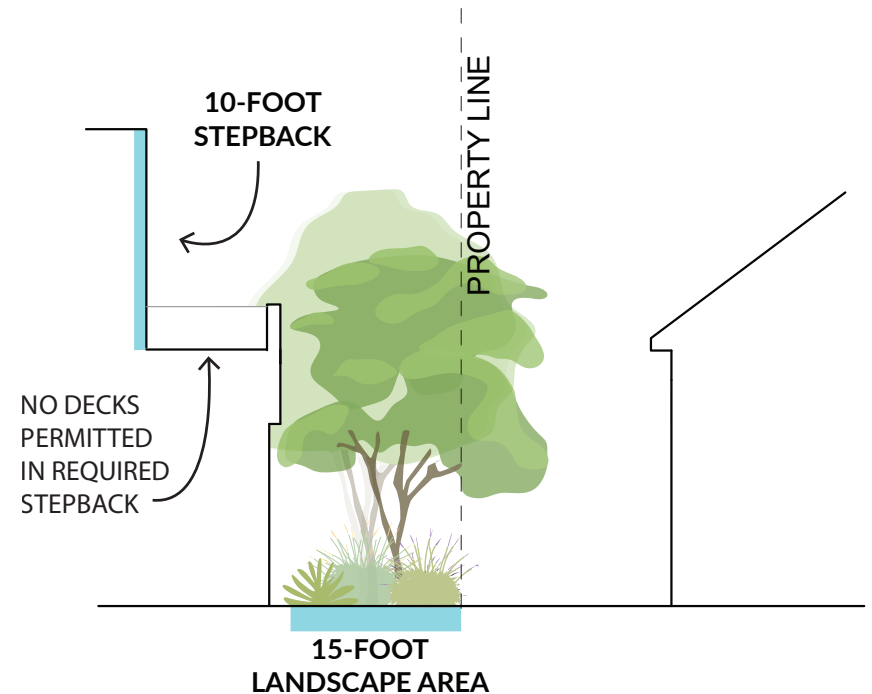


Figure B-9: Landscaped neighborhood transition.

- b. A minimum 5-foot-wide landscaped area planted with landscape screening as described above, a minimum 10-foot-wide driveway to access parking in the rear of the lot, and a minimum 10-foot stepback above the first floor of the building (see Figure B-10).

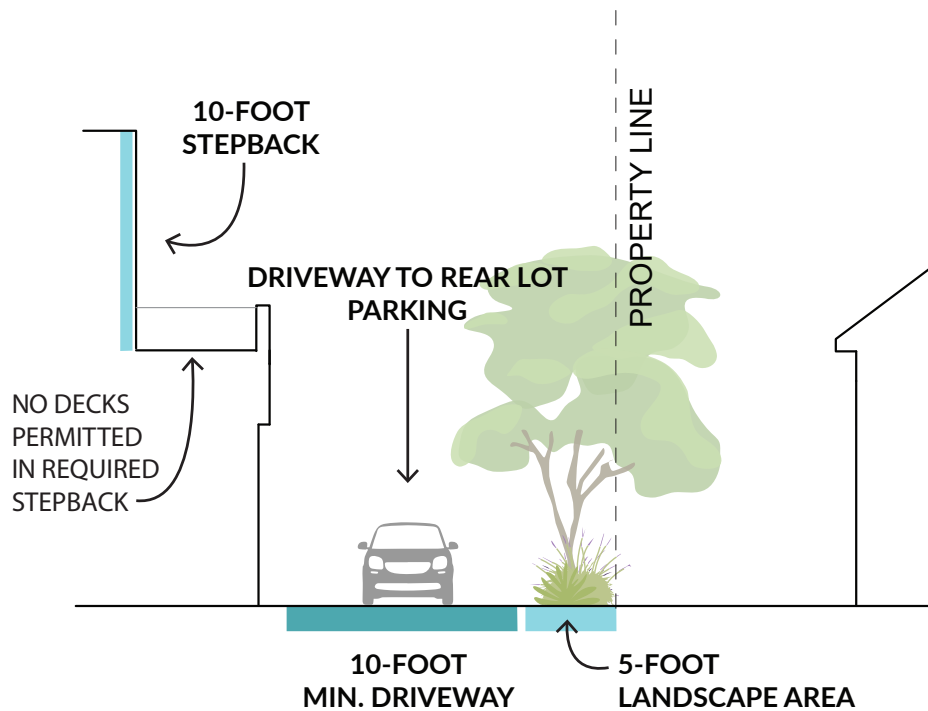


Figure B-10: Driveway neighborhood transition.

- c. A minimum 5-foot-wide pedestrian walkway with 5-foot-wide minimum landscaped area on both sides with landscaped screening provided in the landscaped area immediately adjacent to the property line, and a minimum 10-foot stepback above the first floor of the building (see Figure B-11).
- d. No outdoor decks, balconies, or other covered or uncovered private or common open space shall be permitted in the required stepback.

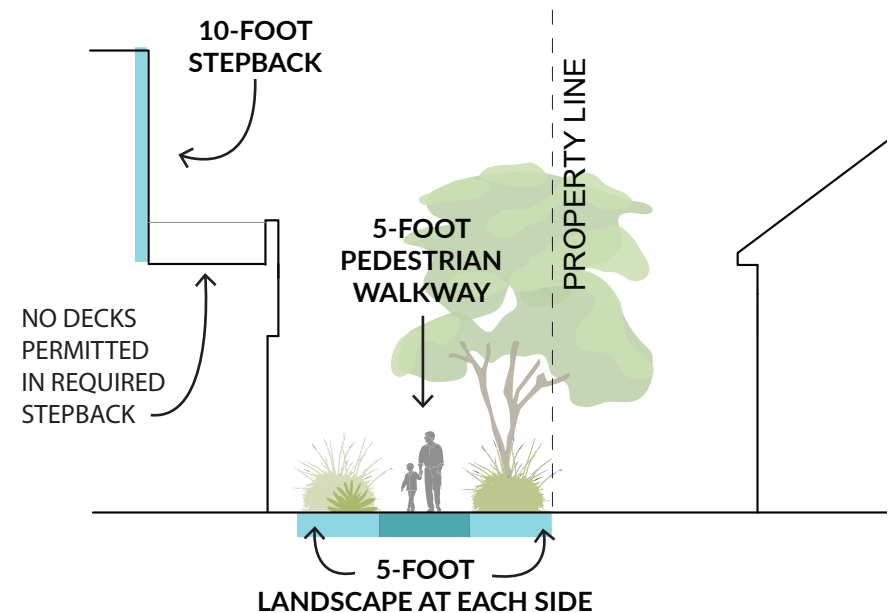


Figure B-11: Pedestrian walkway neighborhood transition.

## B.2. Floodplain Overlay Zone

Structures located within the Floodplain Overlay Zone are subject to the regulations of DMMC Chapter 30.56 - Floodplain Overlay Zone, FEMA Floodplain Management Design Standards and Federal Regulations, in addition to the standards provided below.

### FLOODPLAIN DESIGN STANDARDS

1. During review of applications for development, the City shall consider the best available science and State guidance on sea level rise projections (such as the *State of California Sea-Level Rise Guidance Document* developed by the California Ocean Protection Council), the status of associated adaptation measures (planned or implemented), and analysis of how those adaptation measures minimize projected flood risk.
2. Development shall be sited and designed, including elevation and floodproofing, to minimize flood damage and avoid flood hazards including those from the impacts of projected sea level rise and flooding over the anticipated lifetime of the proposed structure using the best available science on sea level projections and in consideration of applicable adaptation measures.

3. Where a property is required to elevate the finished floor height to address the base flood elevation within a designated floodplain, two or more of the following treatments shall be utilized along the exposed foundation area for the entire perimeter of the building:
  - a. Porches, stoops or patios integrated into the design of the ground-floor facing the public right-of-way or a common open space.
  - b. An attached garage used as a transitional element between the elevated first floor and ground plane.
  - c. Material cladding matching the cladding of the floors above and a minimum 5-foot-wide landscaped area immediately adjacent to the building face planted with native plant types.



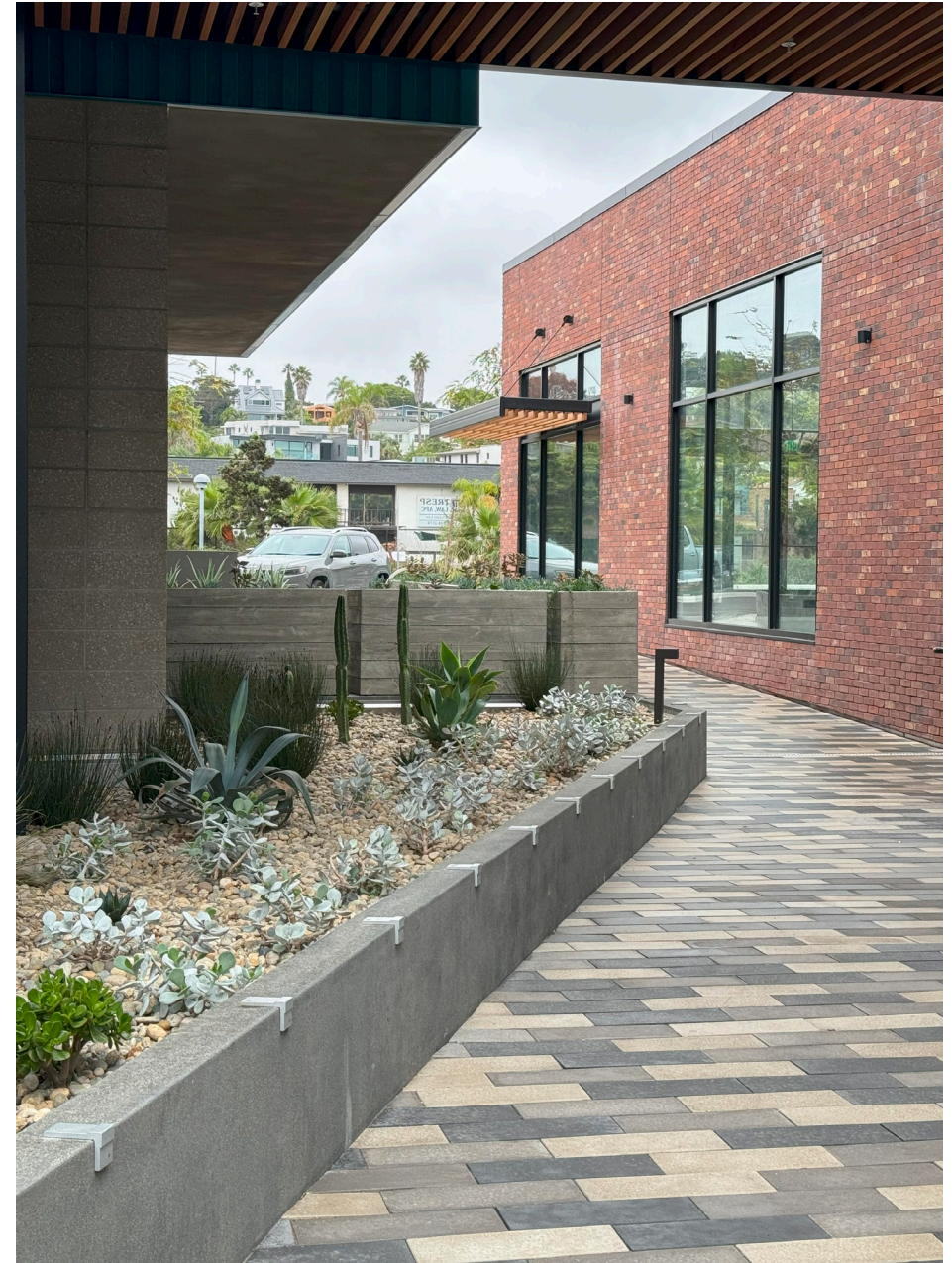
*An elevated ground-floor with a stoop, planting, and matching material cladding along the foundation area.*

## B.3. Natural Topography and Grading

Promote the preservation of existing natural topography and vegetation within Del Mar.

### NATURAL TOPOGRAPHY DESIGN STANDARDS

- 1. New development and building additions shall be integrated into the topography of the site through one of the following methods:
    - a. Screen foundations and underside of structures using two or more of the following methods:
      - Porches, stoops, or patios integrated into the design of the ground-floor facing the public right-of-way or a common open space.
      - An attached garage used as a transitional element between the elevated first floor and ground plane.
      - Material cladding matching the cladding of the floors above, and a minimum 5-foot-wide landscaped area immediately adjacent to the building face, planted with native plant types.
    - b. Utilize existing building pad areas and follow existing grade contours for a minimum of 50% of the parcel.
    - c. Locate structures on the lower 50% of a hillside lot.
  - 2. Construction, grading, or other encroachment of any kind on substantial steep slopes (as defined in DMMC Section 30.52.060-A-1-b), or within 20 feet of the top or ten feet of the bottom of substantial steep slopes exceeding 25 percent grade, or the construction of structures which overhang such steep slopes or steep slope setbacks, shall not be allowed.
- *Indicates standards that shall not apply to the North Beach (Beach Colony) neighborhood.*



*A 5-foot wide landscaped area adjacent to building face planted with native plants.*

**GRADING SETBACKS**

- 3. Cut and fill slopes shall be set back from the property line in accordance with this section. Grading setback dimensions are horizontal distances measured perpendicular to the property line (see Figure B-12).
  - a. Top of Cut Slope. The top of cut slopes shall not be made nearer to a property line than one-fifth of the height (H) of the cut, with a minimum setback of two feet. The setback may need to be increased for any required interceptor drains.
  - b. Toe of Fill Slope. The toe of the fill slope shall not be made nearer to the property line than one-half the height of the slope, with a minimum setback of two feet.

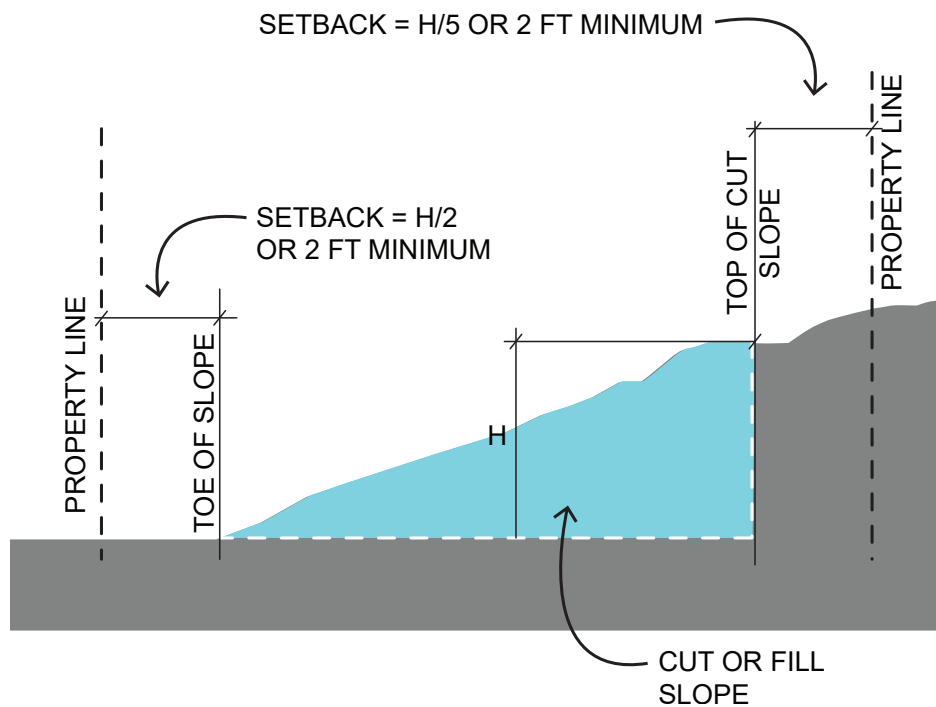


Figure B-12: Top of cut slope and toe of fill slope dimensions.

**GRADING DESIGN STANDARDS**

- 4. The permitted grading of any site is based upon the percent of the existing slope, and shall comply with the following standards:
  - a. Minimize the visual impact of grading by locating 80% or more of the cut and fill surface area under the buildings.
  - b. Hillside lot cuts shall be limited to the area required for the structure, and shall not be extended to create flat surfaces for yard and recreational areas.
- 5. Where cut and fill is visible, the following shall be provided:
  - a. Man-made contours shall continue the natural contours of the site, maintaining the existing slope within 10% of the measured slope where a structure is not being provided.
  - b. A maximum 5% graded transition in grade shall be provided between buildings and adjacent properties or existing grades.

• Indicates standards that shall not apply to the North Beach (Beach Colony) neighborhood.

## B.4. Retaining Walls and Fencing

Ensure that the use of retaining walls and fencing blend into the natural surroundings and topography of a site.

### RETAINING WALLS AND FENCING DESIGN STANDARDS

1. Where a retaining wall is located at the property line, terraced walls conforming with the maximum height and setback line established by DMMC Section 30.86.090 - Fences/Retaining Walls, shall be provided.
2. All retaining walls, outside of the building footprint and running parallel to the building, shall be located a minimum of 6 feet from the exterior face of any building wall.
3. The distance between two terraced retaining walls shall be, at a minimum, the average height of the two walls, as shown in Figure B-13.
4. Retaining walls, or a single rise of a terraced retaining wall, shall not exceed 4 feet in height, as shown in Figure B-13.
5. Where terraced retaining walls are used, planting pockets shall be integrated and planted with native plantings at terrace levels.

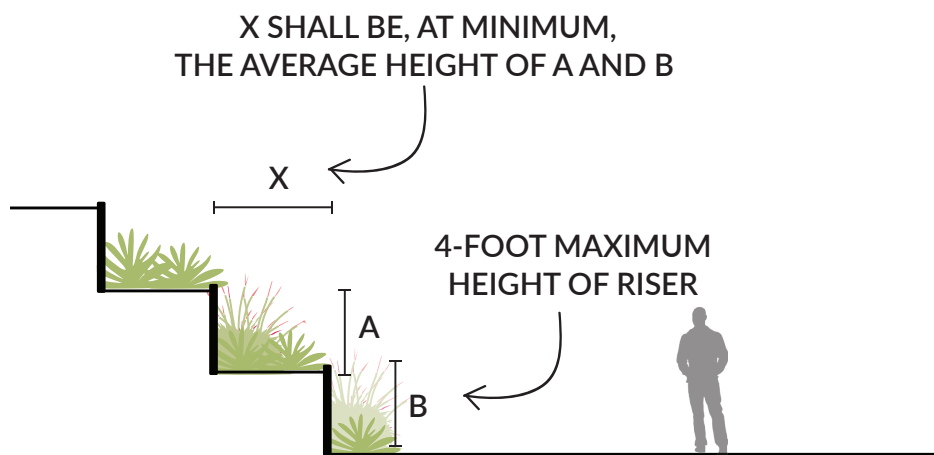


Figure B-13: Diagram of retaining wall standards.

6. Retaining walls and planters shall be designed so that all visible faces are finished with stone or other materials that occur naturally in the environment. If block wall systems are proposed, they shall be clad with natural materials on all exposed faces.
  - a. Retaining wall finish materials in colors contrasting with the surrounding natural terrain, such as bright white walls shall not be permitted.
7. Retaining walls used to retain the natural grade for FAR exemption purposes are not permitted.
8. Perimeter fencing located on the upper 50% of a hillside lot shall be of a style that is 50% or more transparent to maximize views. Examples of permitted fencing types include split rail, picket, and post and cable. Translucent glass shall not count towards the 50% transparency.
9. Black vinyl-coated chain-link fencing is permitted if screened on all visible sides with planted screening. All other chain-link fencing is not permitted.



Planting pockets integrated into the terraced retaining walls.

## B.5. Circulation and Parking

Limit the visual, environmental and safety impacts of vehicle circulation, access, and parking.

### CIRCULATION AND ACCESS DESIGN STANDARDS

1. Projects shall be designed to meet the minimum standards set in the DMMC Chapter 30.80 - Parking, and to satisfy the requirements and standards identified by the American Association of State Highway and Transportation Officials (AASHTO). The stricter requirement shall be used if there is a conflict between the DMMC and AASHTO requirements.
2. Parking, vehicular and fire truck access, and turnarounds shall be designed to the minimum dimensions required.
3. Where a parcel is adjacent to and accessible from an alley, all on-site parking including parking structures and surface parking shall be accessed from that alley.



Low planting adjacent to a driveway.

4. Where a parcel has a secondary street frontage and no alley access, all on-site parking including parking structures and surface parking shall be accessed from the secondary street.
5. Where garage parking is proposed, private drive aisles used to access the garage shall be located along the sides of the property and/or at the rear of the property.
6. All driveways shall meet the following requirements:
  - a. Have a minimum width of 10 feet for one-way driveways and a 20-foot minimum width for two-way driveways.
  - b. Be constructed with a maximum grade of 15%.
  - c. Have an unobstructed vertical clearance of 13.5 feet.
7. Curb-cuts shall not be sited in blind corners.
8. Vegetation planted within 3 feet of a driveway and driveway apron shall be a maximum of 30 inches high at maturity as shown in Figure B-14.

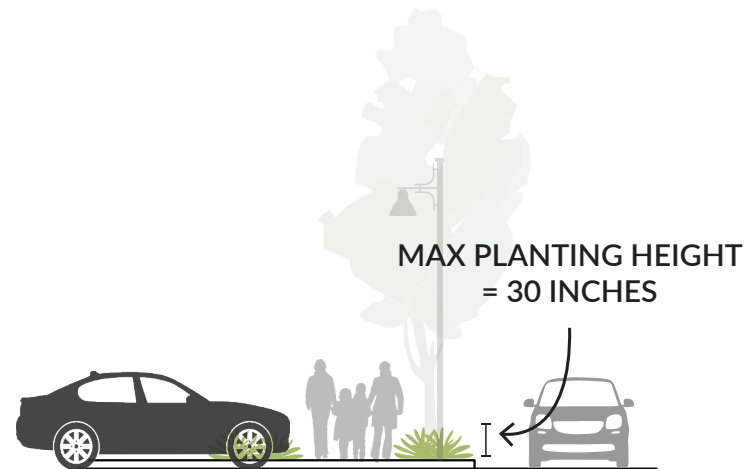


Figure B-14: Vegetation height planted adjacent to a driveway.

9. Circular driveways are not permitted.
10. For parcels over 30,000 square feet, a maximum of one vehicle access point from the primary street frontage is permitted per 200 linear feet of street frontage.

### **SURFACE PARKING**

11. Uncovered parking areas shall be located in the rear 50% of the lot.
12. Parking areas shall be separated from a building with both a 4-foot-wide minimum raised pedestrian sidewalk and an 8-foot-wide minimum landscaped strip.
13. Provide a 4-foot-wide minimum landscaped buffer between parking areas and any public rights-of-way.
14. To prevent vehicle light intrusion into habitable residential spaces, surface parking areas that are within 15 feet of a residential unit shall be located within a garage, carport, or parking structure, or screened by fencing or dense landscaping with no transparency.
15. Open-sided parking coverings that contain solar collectors/panels shall not be calculated towards maximum allowed lot coverage.

### **PARKING STRUCTURES**

16. Parking structures shall be located in one of the following:
  - a. Below-grade.
  - b. On the downhill side of a site, tucked under the main building level, with entrance(s) located behind active building uses and away from the primary and/or secondary street frontages.
  - c. On the interior of the site screened from public view using at least one of the methods described below (see B.5.17).



*Parking structure with commercial spaces wrapping the ground-floor.*



*Parking access from an alley.*

## SITE PLANNING AND DESIGN

17. Where parking structures are exposed to the public right-of-way, the visible facade of the parking structure shall be screened from public view using at least one of the following methods:
- Wrap the parking structure on the ground-floor with a commercial, public, or residential use.
  - Screen the parking structure with landscaped screening and ornamental metal screens in a finish matching the architectural finishes of the building.
  - Continue architectural details and materials from the adjacent floors into the visible exterior faces of the parking structure.

### BICYCLE PARKING

18. Where secure or long-term bicycle parking has been provided, the following shall apply:
- It shall be located so as to be accessible from a public sidewalk.
  - It shall be located on the ground-floor of the building or have elevator access if provided on an upper level.
  - Electronic door openers shall be installed on all doors used to access the bicycle parking.
  - Where bicycle parking is enclosed, the enclosure shall be consistent with the building architecture, and the same materials shall be used on the enclosure as the surrounding building.
  - All access corridors and areas used to access the bicycle parking shall be lit with a minimum of 0.3 foot-candles, but no more than 0.5 foot-candles. In these access areas, automatic motion sensor lighting is permitted.



*Uncovered parking at the rear of the parcel with landscaped screening.*

## B.6. Hardscape

Promote the use of pervious materials that allow infiltration of stormwater, reduce runoff, and decrease the amount of pollutants that eventually flow into the Pacific Ocean.

### HARDSCAPE DESIGN STANDARDS

- 1. In the front yard and street side yard setbacks, the following shall apply:
  - a. Impervious hardscape shall be limited to no more than 25% of the surface area.
  - b. Pervious hardscape shall be limited to no more than 25% of the surface area.
  - c. All remaining surface area shall be landscaped with planted material.
  - d. Compacted landscaped areas that can inhibit site drainage are not permitted.
- 2. All runoff from driveways, walkways, roofs, and/or patios on a parcel must be directed onto vegetated areas located on the parcel or drainage provided in the right-of-way. No runoff from the parcel shall be directed to drain onto adjacent parcels.

- Indicates standards that shall not apply to the North Beach (Beach Colony) neighborhood.



*Permeable paving at a parking garage entrance.*



*Public walkway paved with permeable pavers.*

## B.7. Landscape and Vegetation

Promote the retention of existing natural features and the use of water-conserving plant types appropriate for Del Mar.

### LANDSCAPE AND VEGETATION DESIGN STANDARDS

1. A minimum 3-foot-wide landscaped area shall be provided in all areas where a building comes into contact with the ground plane and the area does not provide pedestrian access.
2. Existing trees and their root systems adjacent to the parcel shall be protected.
3. Trees protected by DMMC Chapter 23.50 - Trees, shall not be removed to provide excavated buildings or amenity elements that extend more than 2 feet below the ground plane, such as basements or pools. All tree removal shall comply with DMMC Chapter 23.50 - Trees.
4. All new trees planted on site shall be trees identified in the City of Del Mar's Recommended Tree List.
5. Where natural and environmentally sensitive vegetation communities exist on site, such as Coastal Sage Scrub and Maritime Chaparral, they shall be incorporated into the site landscaping.
6. Only regionally native species shall be planted within steep slope setback areas and wetland buffer areas.
7. Invasive plant species, as identified by the California Invasive Plant Council, shall not be permitted.



*Examples of landscaped areas provided where building meets grade.*

8. Landscape screening, when utilized, shall be selected to provide a level of screening that would not block views for neighboring buildings, using one of the following:
  - a. Provide dense, fast-growing shrubs or trees that reach a maximum of 6 feet in height at full maturity.
  - b. Trees identified in the City of Del Mar's Recommended Tree List.
9. Screening plants shall be dense and fast-growing evergreen species that buffer views in at least 75% of the intended area, within one year of planting. Grasses and deciduous plants shall not be used for screening purposes.
10. For screening purposes, any new trees shall be provided at a minimum 24-inch box size and any new shrubs should be provided at a minimum 5-gallon size.



*Examples of landscape screening.*

## B.8. Open Space

Provide access to open space for residents to enjoy the natural beauty of Del Mar at home.

### COMMON OPEN SPACE DESIGN STANDARDS

1. Projects with 6 residential units or more, shall provide a minimum of 50 square feet of common outdoor open space per unit.
  - a. Walkways shall be excluded from the common outdoor open space calculation.
2. Common outdoor open space shall be located to meet the following requirements:
  - a. Common open space shall be provided at grade or podium level and shall not be permitted on the uppermost roof-level.
  - b. Common open space shall be directly accessible from the public right-of-way.
  - c. Common open space shall be immediately adjacent to and visible from residential units and shall be accessible to all residents.
3. Common outdoor open space shall be designed to meet the following requirements:
  - a. Common open space shall measure a minimum of 25 feet in at least one direction.
  - b. A minimum of 20% of the open space area shall be planted with live planting, trees, ground cover and/or shrubs.
  - c. Seating options, such as seat walls, planter ledges, benches, and/or movable seating shall be provided.
  - d. Lighting to support evening and nighttime use shall be provided throughout the common open space. All lighting shall comply with the lighting design standards in C.6.
  - e. A minimum of 80% of the area shall be open to the sky and free of permanent weather protection or encroachments. Trellises and similar open-air features are permitted within the 80% open area.



*Common open space open to the sky, visible and accessible from residential units.*



*Common open space at podium level with variety of seating and planting.*

4. Common outdoor open space shall incorporate at least two of the following residential amenities:
  - a. Tot lot/play structure/play area
  - b. Community garden
  - c. Shaded picnic area
  - d. Swimming pool
  - e. Outdoor games (bocce ball, chess tables, etc.)
  - f. Open lawn
  - g. Seating area with fixed and movable seats
  - h. Interactive public art or sculpture
5. Common outdoor open spaces shall be screened from view on all sides that face neighboring parcels with one of the following:
  - a. Residential or mixed-use buildings.
  - b. A 5-foot-wide area with landscaped screening.
  - c. A maximum 6-foot-high fencing finished in an earth tone color.
6. Outdoor speakers, televisions, or other permanent entertainment features shall not be permitted.



*Private open space shall be no less than 5 feet in any direction.*

#### **PRIVATE OPEN SPACE DESIGN STANDARDS**

7. Private open space may consist of one or more of the following:
  - a. Balconies
  - b. Patios
  - c. Gardens
  - d. Porches/Stoops
8. Projects shall provide private outdoor open space as follows:
  - a. A minimum of 40 square feet per unit, for projects with 6 units or more.
  - b. A minimum of 100 square feet per unit for projects with 5 units or less.
9. Private open space shall meet the minimum requirements:
  - a. Private open space shall be no less than 5 feet in any direction.
  - b. Private open space shall be designed to overlook common open space, public open space, paseos, or streets.
  - c. Private open space shall not be permitted on the uppermost roof level.
  - d. For parcels sharing a property line with parcels that have an existing single dwelling unit or duplex, no outdoor decks, balconies, or other covered or uncovered private open space shall be permitted in the required setback.
10. Private open space within 20 feet of a shared property line shall meet the following requirements:
  - a. It shall not be permitted above the ground-level and shall not be permitted in required setbacks.
  - b. It shall include perimeter planters or planting areas with landscape screening.
11. Outdoor speakers, televisions, or other permanent entertainment features shall not be permitted.

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# C. Building Design



## C. Building Design

Multi-unit residential and mixed-use building design standards are intended to enhance neighborhood character, ensure quality design, and result in buildings designed with appropriate bulk and mass. The Building Design section addresses the standards for the following topics:

- C.1 Building Form and Massing
- C.2 Residential Units
- C.3 Building Elements Excluded from FAR
- C.4 Architectural Features
- C.5 Materials and Colors
- C.6 Utilitarian Elements and Screening
- C.7 Signage

### C.1. Building Form and Massing

Minimize the visual impact on the site and surrounding neighborhood by blending the form, mass, and profile of individual buildings in a way that respects the natural terrain and neighborhood character.

#### **BUILDING FORM AND MASSING DESIGN STANDARDS**

1. Building height shall conform with the requirements of the DMMC, and other applicable requirements of the City of Del Mar Community Plan and Local Coastal Plan.
2. In residential uses, ceiling heights on any habitable building level shall not exceed 10 feet.
3. Where a daylit basement, with an exposed wall, is proposed, two or more of the following shall be provided along all street-facing facades:
  - a. Porches or stoops.
  - b. Material cladding matching the cladding of the floors above.
  - c. A 5-foot-wide landscaped area planted with plant types that at maturity reach the finished floor height.

### FACADE ARTICULATION DESIGN STANDARDS

4. For parcels over 30,000 square feet, the length of any facade of a building shall be limited to 100 feet without a change in direction, defined as a minimum 25-foot-deep change in facade direction.
5. A minimum two-foot-deep variation in wall plane is required at a minimum of every 25 linear feet. A change in depth using appliques, trim, or other surface material change shall not be permitted to meet this requirement.
6. The maximum length of blank walls without windows, doors, or material changes shall be 25 feet in any direction.

### ROOF DESIGN STANDARDS

7. The surface area of the roof, in square feet, of any development shall not be more than 25% larger than the floor area of the habitable floor below.
8. On sites with an average slope of 25% or greater, gable roofs with ridgelines that run perpendicular to the slope shall not be permitted. Consider hip roofs or other roof forms to decrease the effective roof bulk.
9. Sloped roofs shall terminate in a ridge, hip, or valley.
10. Roofs longer than 40 feet in length shall incorporate one of the following:
  - a. A variation in roof form, or a minimum two-foot-deep variation in roof plane.
  - b. A variation in architectural elements such as parapets, varying cornices, chimneys, or reveals.
  - c. A variation in roof height of 18 inches or greater (as measured from the highest point of each roof line).



*Variation in wall plane at the ground floor.*



*A variation in roof plane.*

## BUILDING DESIGN

11. Where a flat roof has been provided, the following shall apply:
  - a. A parapet shall be provided around the entire perimeter of the flat roof.
  - b. Rooftop equipment shall be located a minimum of five feet away from any roof edge and parapet adjacent to a public right-of-way.
  - c. The interior side of parapet walls shall not be visible from a common open space or the public right-of-way.
  - d. Parapets shall be capped with precast treatment, continuous banding, projecting cornices, details, or similar edge treatment.
12. Architectural projections (such as cornices, belt course, sills, eave projections, and awnings) without enclosing walls or screening may extend not more than two feet from the exterior wall.
  - a. Eave projections may extend further to provide coverage for a balcony, deck, patio, or other private open space, and may cover the entirety of the private open space.

### DOWNHILL FACADE DESIGN STANDARDS

- 13. The following shall apply to the downhill facade of the building:
  - a. Gable roof ends shall not be permitted.
  - b. Overhanging decks, balconies, and terraces that project beyond the downhill facade are not permitted.

- *Indicates standards that shall not apply to the North Beach (Beach Colony) neighborhood.*



*The maximum length of blank walls is 25 feet in any direction.*



*An example of a roof overhang.*

## C.2. Residential Units

Provide standards for residential unit size and equity across units types.

### RESIDENTIAL UNIT DESIGN STANDARDS

1. Maximum average size of dwelling units for a development site shall not exceed 1,000 square feet of "Bulk Floor Area" as defined and regulated in DMMC Chapter 30.72 - Bulk Floor Area Limitations. For the purposes of this requirement, attached dwelling units shall be measured to the center of shared building walls.
2. For development that includes both market-rate and affordable units, the following requirements apply:
  - a. Affordable units shall be dispersed throughout the development.
  - b. Affordable units shall be located proportionally throughout the floors of the building compared to any market-rate units.
  - c. Affordable units shall be located so as not to create a geographic concentration of affordable units in a single area, wing, or facade.
3. Externally and from all shared spaces, affordable units shall not be distinguishable from any market-rate units in the building and shall be architecturally equivalent.
4. Interior layouts, designs, materials, and finishes of affordable units shall be functionally equivalent to market rate units, but do not have to be identical.
5. Unit types for affordable units shall be proportional to market-rate units in the following ways:
  - a. The size in square feet of affordable units shall be equal to market-rate units with the same number of bedrooms.
  - b. Bedroom size in affordable units shall be equal in size to market-rate units with the same number of bedrooms.

6. Affordable units shall share the same entrances, common areas, and amenities as market-rate units, including the same access to and enjoyment of common open space and facilities in the residential development.
7. Affordable units shall be provided the same size, type, and access to private open spaces as market-rate units.



*A shared entrance for all units of a housing development.*

### C.3. Building Elements Excluded from FAR

Architectural features such as covered porches, loggias, and covered decks contribute to the mass and bulk of a building, even though they are currently excluded from the Bulk Floor Area Ratio (FAR) calculations. Ensure such building elements and proposed structures are in scale with the rest of the building and do not inadvertently contribute to the perception of bulk or block primary views.

#### BUILDING ELEMENTS EXCLUDED FROM FAR DESIGN STANDARDS

1. The total square footage of all covered porches, loggias, decks, and balconies, as well as other architectural design elements that are exempt from Bulk Floor Area calculations per DMMC Title 30 - Zoning, shall not exceed more than 10 percent of the lot's current maximum allowable Bulk Floor Area.
2. Uncovered patios or decks located at grade and uncovered decks located in a building stepback shall not count towards the limitations set above.



*The square footage of all covered porches and balconies on a parcel shall be limited based on a parcel's Bulk Floor Area.*



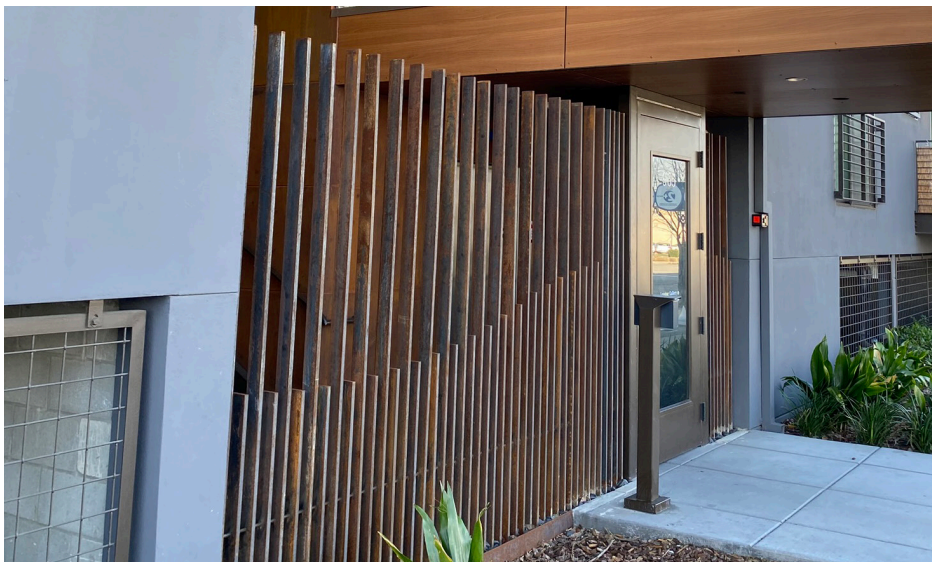
*Limit the size of decks so they do not extend the full length of a facade, contributing to building bulk.*

## C.4. Architectural Features

Design with architectural features to provide visual interest and a similar quality of architectural detail as the surrounding neighborhood.

### ARCHITECTURAL FEATURES DESIGN STANDARDS

1. Glazing may be used as a facade treatment on floors with residential uses for a maximum of 60% of any exterior building facade.
2. Where a building facade is located within 10 feet of a building facade on another property, one of the following screening techniques shall be utilized to provide privacy to the occupants:
  - a. Utilize non-transparent or translucent glazing such as frosted/patterned glass for windows and doors. Glass block and reflective glazing are not permitted.
  - b. Provide permanent wood or metal architectural screens or affixed louvers across the exterior face of windows and doors.
  - c. Utilize clerestory windows a minimum of 6 feet from the interior finished floor surface.
  - d. Provide landscaped screening utilizing mature or fast-growing plantings that screen a minimum of 75% of the width of the facing windows.
3. Garage doors shall be recessed back from the face of the garage, by a minimum of 6 inches to add shadow and visual interest.
4. Long access balconies and exterior corridors providing direct upper level unit access from the ground-floor are not permitted. The maximum length of an access balcony or exterior corridor that directly connects to the ground-floor shall be 10 feet.
5. Exterior stairways shall be constructed of smooth stucco, plaster, or wood, with accent trim of complementary colors. Freestanding open metal, prefabricated stairs are not permitted.
6. All fireplaces and chimneys exceeding 6-feet in height, whether affixed to a primary structure or provided as an accessory structure, shall not project into any required yard setback area. No chimney shall exceed the height of 3 feet above the lowest adjacent roof height.



*Exterior wood louvers as privacy screen.*



*Recess garage doors to add shadow.*

## C.5. Materials and Colors

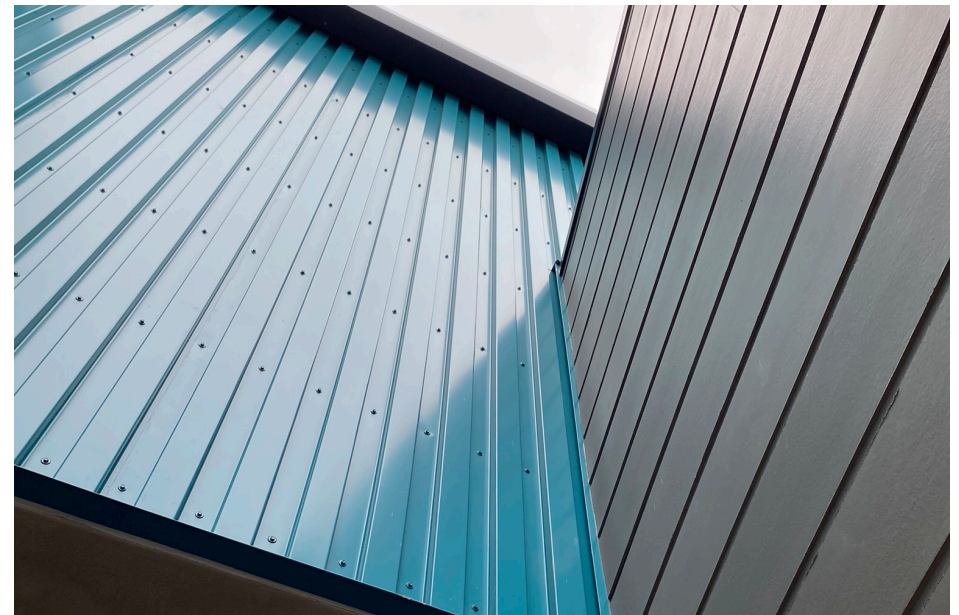
Select materials and colors to complement the structure's surroundings and the natural landscape.

### MATERIALS AND COLORS DESIGN STANDARDS

1. Use materials and colors to reduce the apparent bulk of a structure through one or more of the following strategies:
  - a. More than one primary material, but no more than three primary materials, shall be used on an elevation to aid in breaking up the vertical mass of a structure.
  - b. A change in material or a break in material using an architectural detail or feature shall occur every 25 feet in any direction.
  - c. Select natural earth tone colors for daylighted basement or retaining walls that blend with the surrounding topography and vegetation.
2. Material transitions shall comply with the following:
  - a. Material transitions along building facades shall occur on the inside corner of the plane change.
  - b. When material changes occur on the same plane, use trims, cornices or other architectural elements between the material change.
  - c. Material and color changes at the outside corners of structures are not permitted.
3. Accent and trim elements shall differ from the primary materials in texture, color, or material.
4. All exterior finish materials shall comply with the following:
  - a. Fluorescent, neon, and/or reflective colors and materials shall not be permitted.
  - b. Materials with an earth tone color in their natural state, such as brick, stone, or copper, shall not be painted.



*Three primary materials used to break up architectural mass.*



*Material change occurring at the inside corner of the plane change.*

5. The following exterior finish materials are not permitted:
  - a. Wood siding used for more than 50% of any facade
  - b. Shake shingle siding
  - c. Galvanized Steel
  - d. Plywood
  - e. Unfinished Lumber
  - f. Corrugated Fiberglass
  - g. Cultured Stone
  - h. Vinyl or Aluminum Siding
  - i. Reflective Materials
  - j. Concrete Block
  - k. Untextured or Unfinished Metal Siding



*Concrete block used as an exterior finish material shall not be permitted.*

## C.6. Utilitarian Elements and Screening

Establish criteria for the design, location, and concealing of utilitarian building features.

### UTILITARIAN ELEMENTS AND SCREENING DESIGN STANDARDS

1. All new and existing utility service connections within the boundaries of the development site shall be placed underground.
2. Stand alone, ground-mounted mechanical or electrical equipment shall be located as follows:
  - a. Clustered and consolidated in a single area.
  - b. Located along the side yard or rear yard of a building.
  - c. Shall not be located within 25 feet of the primary street frontage, or the secondary street frontage.
3. Ground-mounted utilities shall be screened using one or more of the following elements:
  - a. Solid masonry or concrete walls
  - b. Berms
  - c. Landscaping
4. All screening elements shall comply with the minimum clearance required by the regulating utility.
5. Where screening walls are proposed, the material used shall match the material of the building or landscape planter immediately adjacent.
6. Where mechanical and electrical equipment is located on the roof, said equipment shall not extend beyond the maximum allowable height limit and, shall be located or screened so as to be out of view from the public right-of-way, using the following techniques:
  - a. Where structurally feasible, sunken into the structure of the roof.
  - b. Located below the height of the adjacent roof or parapet line and toward the center of the roof so as not to be visible or audible from the public right-of-way.



Screening of utilities with solid walls.



Decorative tree well covers.



Decorative gutters matching roof.



Decorative downspouts feeding plants.

- c. Screened from view using an architectural material that matches the surrounding roof color or material and provides sound attenuation.
  - d. In addition, roof penetrations, such as stacks, vents, antennas, and other roof mounted equipment shall be consolidated in one location, and located so as not to be visible from the public right-of-way. All flashing, sheet metal, vents, and pipe stacks shall be painted to match the adjacent roof or wall material.
7. Mechanical and electrical equipment shall comply with the standards of DMMC Chapter 9.20 – Noise Regulations so that it is inaudible from adjacent property and public right-of-way.
  8. Where utility equipment is located in a room within the building, the following shall apply:
    - a. The utility room shall be located along a facade that does not face a public right-of-way.
    - b. The interior of the utility room shall not be visible from the outside.
    - c. The utility room shall not be located within 25 feet of any open space areas.
    - d. The exterior facade of the utility room shall be designed to blend in with the surrounding building and include the same quality finish materials.
  9. Trash container storage shall be located at the rear or interior side yard of a property, and screened using the following techniques:
    - a. Trash and recycling enclosures shall be consistent with the building architecture, and the same materials shall be used on the enclosure as the surrounding building.
    - b. Trash storage areas shall be incorporated into the building design, located in garages, and/or screened with walls and landscaping.
      - c. Trash storage areas shall be sized to accommodate all trash, recycling and organic waste generated by a building.
      - d. All trash enclosures require a solid roof cover.
      - e. All doors used to access trash enclosure areas shall be metal.
      - f. Trash container storage and collection areas shall not obstruct required widths for emergency vehicle access.
  10. Utility service areas, such as electrical panels, shall be located in an enclosure consistent with the building architecture, and the same materials shall be used on the enclosure as the surrounding building.
  11. Gutters, scuppers, or downspouts, where proposed on the exterior of a building, shall be of a material or color that matches the adjacent roof, wall, or trim material and/or color.

#### **LIGHTING DESIGN STANDARDS**

12. Light levels at a property line shall not exceed .05 foot-candles for all properties with residential uses.
13. All exterior lighting fixtures shall utilize “shut off” controls such as sensors, timers, motion detectors, or other similar controls.
14. Exterior light fixtures, including pole lights, wall-mounted lights and bollards shall be fully shielded and downward-facing in order to minimize glare and light trespass within and beyond the project site.
  - a. All areas for pedestrian and vehicular circulation, entrances, parking, and common recreational spaces shall incorporate lighting programmed with dusk to dawn lighting for safety and security.
15. The source of light (bulb) shall not be visible from adjacent properties or public rights-of-way (excluding natural gas lighting).

16. Allowed light sources (bulb types) for exterior lighting include:

- a. Linear or Compact Fluorescent
- b. Induction Lighting
- c. Light Emitting Diode (LED)
- d. Incandescent lighting are permitted for exterior accent lighting, as allowed by Title 24 Lighting Standards

17. All exterior lighting proposed, including both fixtures and sources, shall be certified Dark Sky Friendly by the Fixture Seal of Approval program of the International Dark-Sky Association, or be comparable in terms of fixtures that minimize glare, reduce light trespass, and do not pollute the night sky.

18. All exterior lighting shall have a maximum color temperature of 2700 degrees Kelvin.

19. Focused flood lighting may be allowed for security purposes but shall be mounted to be downward directed only, shall be located no higher than the first story, and shall utilize motion-sensor activation at all times.

20. Pole-mounted lights are not permitted unless they are screened from public view or shielded in a courtyard or complex.

21. The following lighting types are not permitted:

- a. Accent lighting used only for highlighting architectural features (e.g. "wall washing").
- b. Blinking, moving, or changing intensity of illumination, illumination of roofs, and internal illumination of awnings.
- c. Light fixtures with an adjustable aiming angle that create skyglow and light trespass.
- d. Colored lamps or filters.

22. Lighting provided to illuminate building signage shall comply with the following:

- a. Signage and its associated lighting shall be located on the ground-floor of the building.
- b. Lighting shall be adjusted to confine light entirely on the sign.
- c. The light source (bulb) shall not be visible from an adjacent property or the public right-of-way.
- d. Exposed conduits serving signage lighting is not permitted.



*Downward-facing lighting.*



*Shielded lights to minimize glare.*



## C.7. Signage

Provide an effective signage system that presents wayfinding information in a clear and logical sequence.

1. Where building directory signage has been provided it shall have a clear, unified design through use of the following:
  - a. A consistent material and color palette across all signage, designed with weather-resistant finishes.
  - b. Utilize sans serif fonts and locate at the intersections of sidewalks, streets, or bike facilities.
  - c. Signage shall conform with regulations set forth by the State and other regulating authorities and use international symbols.
2. Provide a unified sign program for multi-tenant ground-floor commercial business identification and incorporate the following:
  - a. Design commercial storefronts with a building-mounted signage area, oriented to the customer public right-of-way.
  - b. Orient business identification signs parallel to the street.
  - c. Provide pedestrian signage that is perpendicular to commercial sidewalks.



*Unified sign program for commercial tenants.*



*International Parking Symbol.*



*Building directory signage.*

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# D. Ground-Floor Design



## D. Ground-Floor Design

The ground-floor design standards activate commercial street frontages and provide a comfortable pedestrian experience throughout the city. The Ground-Floor Design section addresses standards for the following topics:

- D.1 Residential Ground-Floors
- D.2 Commercial Ground-Floors



*Ground-floor residential unit entrance with individual stoop and weather protection.*

### D.1. Residential Ground-Floors

Design the ground-floor of residential buildings to create active street frontages and provide a transition between the private and public realm.

#### RESIDENTIAL GROUND-FLOOR DESIGN STANDARDS

1. Any residential unit on the ground-floor shall have a individually recognizable entry by using two or more of the following techniques:
  - a. Weather protection element, such as an awning, canopy, or a recessed entry.
  - b. Individual stoop, elevated entry or entrance patio, terrace, or forecourt.
  - c. A minimum 3-foot change in facade depth from adjacent unit entries.
  - d. A change in materiality from adjacent unit entries.
2. In residential buildings, with a shared entrance, provide a single distinct entry by incorporating three or more of the following approaches:
  - a. Forecourt or small entry plaza adjoining the lobby space.
  - b. A recessed entry or a weather protection device such as a canopy, awning, or overhang.
  - c. A change in paving or landscaping leading to the entry.
  - d. A change of building material at the entry.
  - e. Entry lighting.
  - f. Entry signage.
3. Residential buildings, located adjacent to a primary or secondary street, shall include at least one pedestrian entrance directly accessible from the public sidewalk or right-of-way.

4. Any ground-floor residential entrances not located adjacent to a street shall be oriented to face one of the following:
  - a. Landscaped internal pedestrian walkway or paseo.
  - b. A common open space such as a landscaped courtyard or plaza.
5. Where shared facilities have been provided in residential or mixed-use buildings, such as fitness centers, community rooms, office space or exhibition space, the following shall apply:
  - a. The facilities shall be located on the ground-floor of the building facing the primary or secondary street frontage.
  - b. The ground-floor facade facing the street shall include transparent windows and doors for a minimum of 60% of the ground-floor facade.
6. Seat walls, planters, or fencing between a ground-floor residential unit and a right-of-way or public space shall be no greater than 3 feet tall.



*Shared residential entry with weather protection, signage and distinct material.*



*Seat walls between residential units and the sidewalk shall be 3 feet tall or less.*

## D.2. Commercial Ground-Floors

Design ground-floor commercial spaces to create active street frontages and provide a vibrant retail environment.

### COMMERCIAL GROUND-FLOOR DESIGN STANDARDS

1. The design of commercial ground-floor spaces shall include all of the following:
  - a. Retail bays shall be 25 to 35 feet in width, to allow multiple storefronts and tenants to occupy single or multiple bays.
  - b. At least one entrance at each retail bay shall be located along the primary street frontage.
  - c. A minimum depth of 55 feet for retail uses.
  - d. A maximum clear ceiling height of 12 feet (see Figure D-1).



Commercial ground-floor facing Camino Del Mar shall be a minimum of 60% transparent.

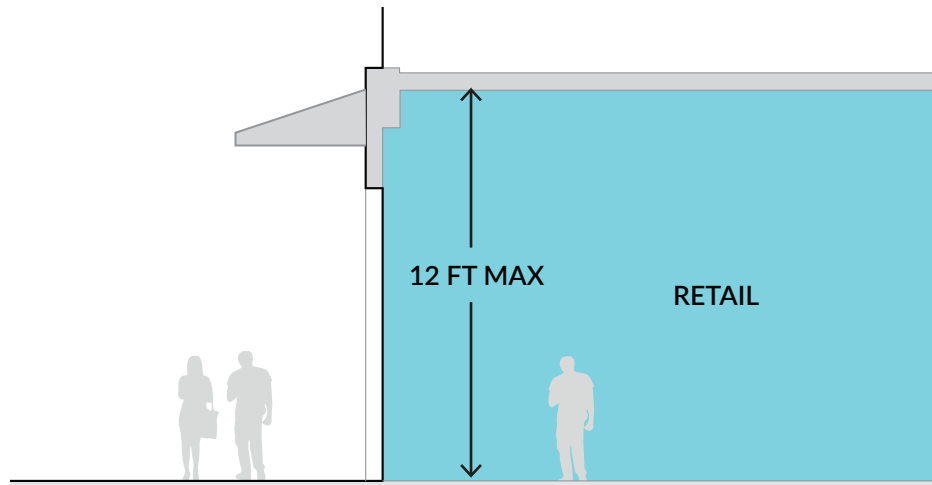


Figure D-1: Clear ceiling height in ground-floor commercial spaces.



Retail bays shall provide at least one entrance along the primary street frontage.

2. Where a commercial use is located adjacent to Camino Del Mar or Jimmy Durante Boulevard, the ground-floor facade facing the street shall include windows and doors for a minimum of 60% of the ground-floor facade.
  - a. Transparent or translucent glazing is required to meet this requirement. Opaque, reflective, or dark tinted glass that obstructs view of the interior of the building from the sidewalk are not permitted.
  - b. Each window in a storefront shall be no less than 3-feet-wide and 4-feet-high. Single-paned or multi-paned windows shall comply with this standard.
  - c. The inside area within 4 feet of the storefront must be at least 75% open to perpendicular views.
3. Ground-level commercial spaces shall have a ground-floor elevation that is level with the elevation of the adjacent sidewalk.
4. Commercial facades facing Camino Del Mar or Jimmy Durante Boulevard shall provide two or more of the following for every 25 feet in facade length:
  - a. An awning, canopy, of other shade structure extending a maximum of 5 feet in depth and 10 feet in length.
  - b. A change in exterior wall material.
  - c. Planter boxes located under each window extending the length of the window.
  - d. Signage projecting perpendicularly from the building facade wall, or signage attached to a fixed canopy or awning.
5. Where publicly accessible open space has been provided adjacent to a commercial use, it shall be accessible from a public sidewalk.
6. Loading and service areas serving commercial uses shall be located in the rear 50% of the parcel.



*Commercial facades shall provide awnings, planter boxes and/or signage.*



*Publicly accessible open space adjacent to the public sidewalk.*

## Definitions

**.05 Foot-candle** – A unit of illuminance or light intensity. The name conveys the illuminance cast on a surface by one-candela source one foot away. Alternatively, it can be defined as the illuminance on a one-square foot surface of which there is a uniformly distributed flux of one lumen.

**Blind Corner** – An intersection of two streets, or a curve in a single street, where the road ahead is nearly or entirely obscured from a driver's vision.

**Bulk Floor Area** – The total horizontal area, expressed in square feet, of all floors below a roof having any portion of the floor's perimeter within the walls of a building, calculated from the outside face of those walls and where there is no wall, then from the floor area under the roof.

**Cap** – A cap is the top element in a division or structure.

**Clerestory Window** – A clerestory is a high section of a wall that contains windows that are located above eye level. Their purpose is to admit light and fresh air, while retaining privacy for occupants.

**Cornice** – The exterior trim at the meeting of a roof and wall, consisting of soffit, fascia and crown molding.

**Cut and Fill** – Cut is the material (soil, rock, etc.) that is excavated and either removed from a building site or relocated elsewhere on the site. Fill, the material (soil, rock, etc.) used to raise an existing grade, may come from elsewhere on the site or be imported from an off-site location. Both cut and fill are measured in cubic yards.

**Daylit Basement** – Also known as a walk-out basement within a house, a daylit basement is usually situated on a slope, so that part of the floor is above ground, with a doorway or window to the outside.

**Earth Tone** – Earth tones refer to a color scheme that draws from a color palette of browns, tans, warm grays and whites, greens, oranges, and other shades derived from nature, some reds, and some blues. The colors in an earth tone scheme are muted and flat, reflecting the natural hues found in dirt, moss, trees, rocks, and other earth forms.

**Facade** – The face or elevation of a building.

**Flashing** – Sheet metal or other material used to cover open joints of exterior construction on a roof, such as roof valley joints or roof parapet joints, to ensure they are waterproof.

**Floor Area Ratio** – The numerical value obtained by dividing the total "bulk floor area" of a structure or structures by the net area of the subject lot.

**Fully Shielded** – A light that is constructed so that light rays directly emitted by the fixture are projected below a horizontal plane running through the lowest point on the fixture where light is emitted.

**Gable End** – When the ridge line of a gable-roofed house is perpendicular to the street, the roof is said to be a "gable-end roof." This refers to both the gable and the wall below it.

**Gable Roof** – A roof with two (2) slopes—front and rear—joining at a single ridge line parallel to the entrance facade.

**Hardscape** – Any impervious paved surface including concrete or asphalt.

**Hillside Lot** – A lot with an average slope of 25% or more.

**Hip Roof** – A roof with four sloped sides. The sides meet at a ridge at the center of the roof. Two (2) of the sides are trapezoidal in shape, while the remaining two (2) sides are triangular, and thus meet the ridge at its end-points.

**Parapet** – A low wall, located at the top of any sudden drop in elevation, such as at the top of a building’s facade.

**Paseo** – A public place or path designed for walking; usually tree-lined, such as a promenade or avenue.

**Primary Material** – A material used to clad the exterior of a building as distinct from accent materials used in architectural details or features.

**Primary Street Frontage** – The frontage of a building facing the public right-of-way. Where a parcel shares a property line with two public right-of-ways, the primary street frontage refers to the frontage facing the street with the higher volume of traffic. Alleys shall not be considered a primary street.

**Retail Bay** – The area or space between structural supports in commercial architecture.

**Right-of-Way** – Type of easement granted or reserved over land for transportation purposes. This can be land designated for a road or highway, public footpath, rail transport, or a canal, as well as electrical transmission lines, and/or oil and gas pipelines.

**Roof Deck** - Common or private open space on the uppermost roof-level of a building.

**Secondary Street Frontage** - Where a parcel shares a property line with two public right-of-ways, the secondary street frontage refers to the frontage facing the street with the lower volume of traffic. Alleys shall not be considered a secondary street.

**Setback** – The area that defines a front, rear or side yard as required by the City’s Zoning Code, between which line and the property line no building, structure, or portion thereof shall be permitted, erected, constructed, or placed unless specifically permitted by the City’s Zoning Code.

**Substantially Steep Slopes** – A slope exceeding 25 percent with a vertical rise of 20 feet or more.

**“Town and Country” Parking** – A public/private parking design governed by the City of Del Mar Municipal Code where spaces are partially on private property and partially in the public right-of-way along a specified portion of Camino Del Mar.

